

The ——— ——— Alaia Release ———

Lot 6106 | aONE

Lot 6107 | Sejero 2-17

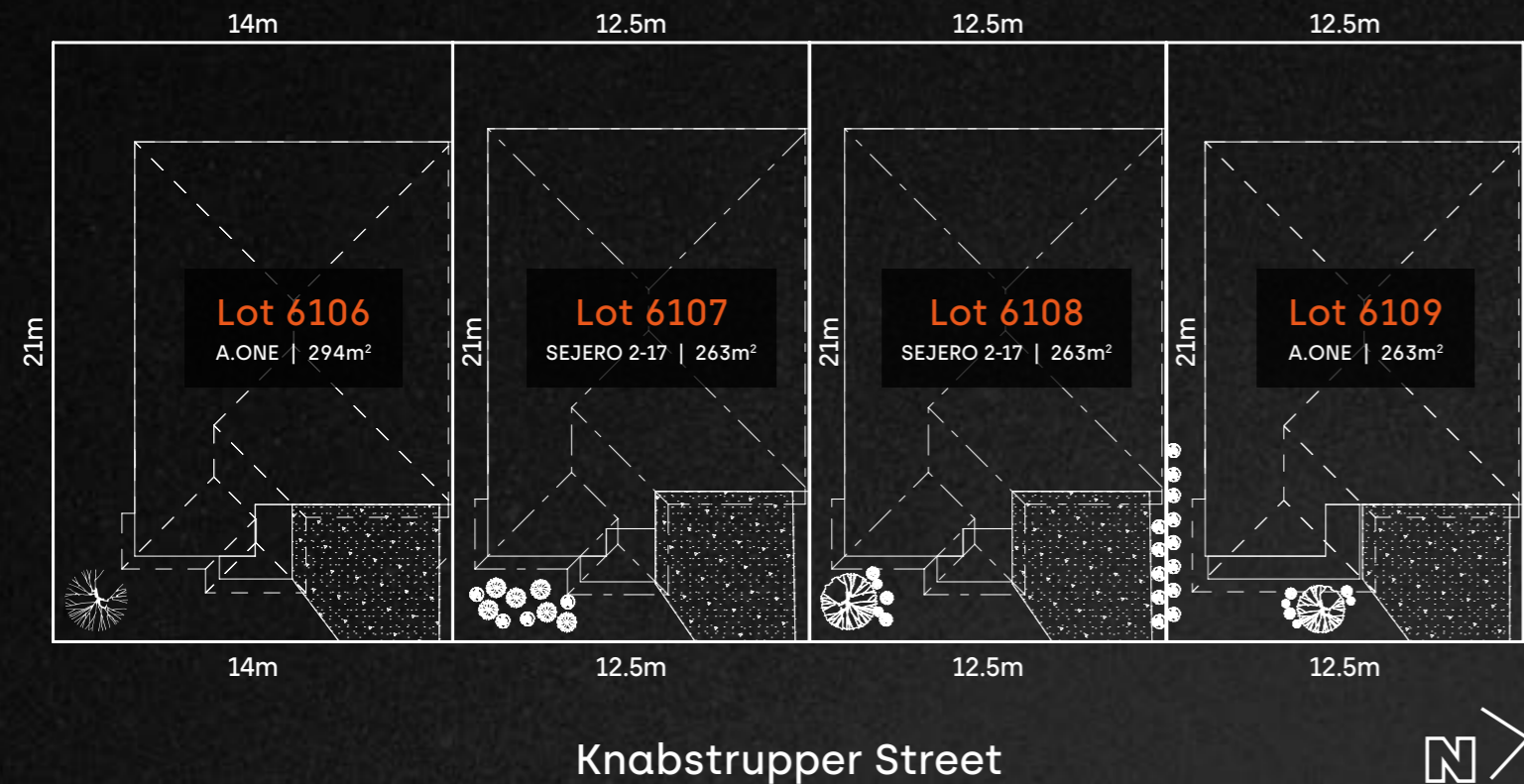
Lot 6108 | Sejero 2-17

Lot 6109 | aONE



Artist Impression

Siteplan



Masterplan

Every home is within walking distance of a park and neighbourhoods can be accessed by various walkable routes.

- Display Village
- Shopping & Amenities
- Community Centre
- Education
- Medical
- Open Space/ Conservation Reserve
- Sporting & Recreation
- Parks & Playgrounds
- Transport

affordable *eight* INCLUSIONS

αONE inclusions only

PRE-CONSTRUCTION

- Bushfire assessment report
- Concrete pump for slab pour
- Site Analysis. Including soil test report, survey plan and property information. Foundations—'M' class waffle slab up to 300mm of fall over building envelope
- Engineer's slab design and computations
- Building Permit—Including permit fees, working and detailed specifications
- Connections—Underground electrical, gas, sewer, storm water and water for allotment up to 550m² with 5m set back
- 100mm sewer grade PVC storm water system

STRUCTURAL

- 90mm Timber Studs (MGP10 or Equivalent)

EXTERNAL FEATURES

- Contemporary Façade
- Fully rendered home including rendered masonry Hebel Power Panel
- Up to 36m² of concrete driveway to front door inc. porch as per plan
- Colorbond fascia and gutter
- Haymes Solashield painted downpipes
- Keyed locks to all openable windows

MATERIALS

- Colorbond Metal Roof (Category 1 range)
- 820 x 2040mm Duracote tempered hardboard Front Entry door (Category 1)
- Timber Front Entry door frame
- Aluminium Windows and sliding door/s (as per standard plan)
- Gainsborough Terrace entry sets
- Double cylinder snib deadlock to all glass sliding doors
- Painted fibre cement sheet Infill above Garage opening
- 2 x Garden taps (1 to front yard and 1 to rear yard)

SIX STAR ENERGY RATING

- Guaranteed 6-star energy rating based on the standard house plan best orientation

INSULATION

- R4.1 batts to ceiling
- R2.0 wall batts to external walls of dwelling

STORAGE

- Robes—White melamine top shelf with hanging rail and hinged doors
- Walk in Robe—White melamine top shelf with hanging rail
- Pantry—Four white melamine shelves
- Linen—Four white melamine shelves

FLOORING

- **Category 1 ceramic floor tiles (up to 400mm x 400mm) to wet areas**

INTERNAL FEATURES

- 2590mm ceiling height
- 2040mm high flush panel Internal Doors including robes and linen (Design Specific) (Excludes Laundry linen)
- Gainsborough door furniture – Amelia lever
- Hafele handles (Category 1 Range) to robes, linen and pantry (Design Specific)
- Cushioned door stops throughout
- 67mm x 18mm DAR skirtings and architraves throughout
- 75mm Cove Cornice to home 90mm Cove Cornice to Garage

GARAGE

- Colorbond sectional overhead Garage door including manual lock
- 820 x 2040mm Duracote tempered hardboard rear Entry door (design specific)

PAINTWORK

EXTERNAL

- Front Entry door: Gloss enamel finish
- Woodwork: External acrylic

INTERNAL

- Woodwork: Gloss enamel finish
- Ceilings: Flat acrylic
- Haymes Elite Matt Acrylic 3 coat washable paint system

KITCHEN

- 32mm thick laminate benchtop to Kitchen (Category 1 Range)
- Cupboards — Modular cabinets including melamine shelves (Category 1 Range)
- Laminate Kitchen base cabinetry (Category 1 Range)
- Doors and Drawers — Square edge laminate (Category 1 Range)
- Hafele handles (Category 1 Range)
- Stylus 1 3/4 bowl sink with drainer
- 608mm wide Dishwasher provision located under kitchen sink
- Stylus Verdi sink mixer tap
- Ceramic wall tiles to Kitchen splashback (Category 1 Range)
- Kitchen rangehood externally flued

APPLIANCES

- **Artusi 900mm upright cooker**
- **Artusi 900mm canopy rangehood**

BATHROOMS, ENSUITE & POWDER ROOM

(IF APPLICABLE)

- 1100mm high polished edge mirrors to full width of vanity
- Ceramic wall and floor tiles up to 400mm x 400mm (Category 1 range)
- Laminate cabinetry including benchtops from Category 1 range
- Caroma Aire Concorde toilet suites
- Stylus Venecia semi recessed vanity basins
- Stylus Verdi basin mixers
- Clark Round Back to wall Freestanding Bath to Bathroom
- Stylus wall Bath Outlet
- **Tiled preformed Shower Base to Ensuite & Bathroom**
- Semi-frameless shower screens with pivot door and laminated glass
- Venecia multifunction shower heads
- 100mm high skirting tile to all wet areas (Excluding Kitchen)
- Chrome tile trims to all wet areas

ELECTRICAL

- Double power points throughout (design specific)
- Fixed batten light points as per electrical plan
- 1 x external light to rear of home and 1 x side/laundry wall (design specific)
- White switch plates from Category 1 range
- Hardwired smoke detector with battery backup
- Exhaust fans above all showers
- 2 x TV points including 5m coaxial cable to roof space
- 2 x Telephone points
- RCD safety switch and circuit breaker to meter box

HOT WATER UNIT

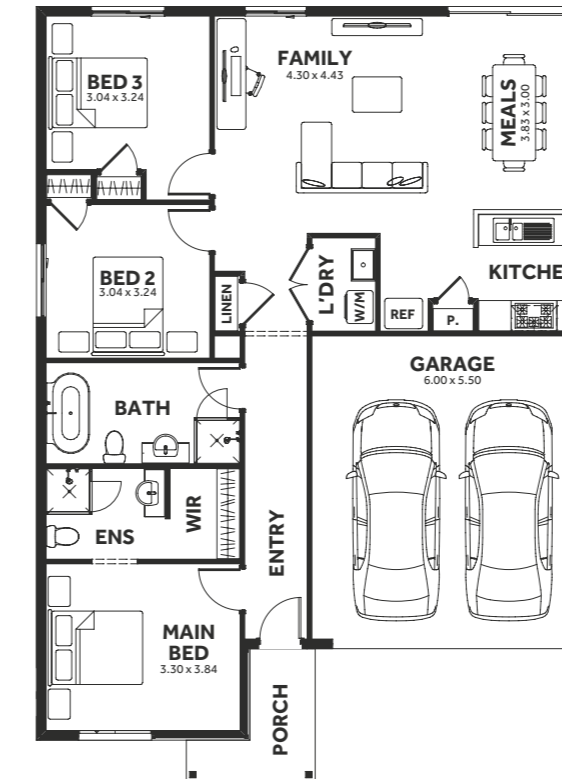
- **Electric Heat Pump Hot Water System**

HEATING

- 3 Star Gas Ducted Heating unit—Ducted to all living areas and bedrooms

TERMITE TREATMENT

- Part A: Termite Management System to all pipes passing through the concrete slab



αONE



Lot 6106

Knabstrupper Street

House Size: 153.61 m² | 16.54 sqs

Facade: S1 | Lot Size: 294 m²

Exterior Width 11,140 mm | Exterior Length 14,520 mm

Lot 6109

Knabstrupper Street

House Size: 153.61 m² | 16.54 sqs

Facade: S1 | Lot Size: 263 m²

Exterior Width 11,140 mm | Exterior Length 14,520 mm

INCLUSIONS

BY **EIGHT** HOMES

Sejero 2-17 inclusions only

PRE-CONSTRUCTION

- Bushfire assessment report
- Concrete pump for slab
- Site Analysis. Including soil test report, survey plan and property information. Foundations—'M' class waffle slab up to 300mm of fall over building envelope
- Engineer's slab design and computations
- Building Permit—including permit fees, working and detailed specifications
- Connections—Underground electrical, gas, sewer, storm water and water for allotment up to 550m² with 5m set back
- 100mm sewer grade PVC storm water system

STRUCTURAL

- 90mm machine grade pine studs (MGP10)

EXTERNAL FEATURES

- Up to 36m² of colour on concrete driveway and path to front door (inc. porch as per plan)
- Face brickwork/light weight to facade (Category 1 range bricks)
- Brickwork/light weight over all facade windows and external door from Category 1 range (facade dependent)

MATERIALS

- Brick veneer/light weight construction (Category 1 range bricks)
- Natural Colour Mortar Joints — Rolled Finish
- Concrete Roof Tiles (Category 1 range)
- 820 x 2040mm tempered hardboard Front Entry door (Category 1)
- Timber Front Entry door frame
- Aluminium Windows and sliding doors (as per standard plan)
- Chrome terrace entry sets
- Double cylinder snib deadlock to all glass sliding doors
- Painted fibre cement sheet Infill above windows and doors (excluding facade)
- Painted fibre cement sheet Infill above Garage opening (design specific)
- 2 x Garden taps (1 to front yard and 1 to rear yard)

SIX STAR ENERGY RATING

- 6 star energy rating compliance on base plan on best house orientation at no extra cost

INSULATION

- R4.1 batts to ceiling
- R2.0 wall batts to external walls of dwelling

FLOORING

- Stylish Category 1, 8mm timber look laminate (refer to specific plan for locations)
- Category 1 ceramic floor tiles (up to 400mm x 400mm) to wet areas
- Category 1 carpet to remainder of home

INTERNAL FEATURES

- 2440mm ceiling height
- 2040mm high flush panel Internal Doors including robes and linen (Design Specific) (Excludes Laundry linen)
- Chrome door furniture
- Chrome handles (Category 1 Range) to robes, linen and pantry (Design Specific)
- Cushioned door stops throughout
- 67mm x 18mm DAR skirtings and architraves throughout
- 75mm Cove Cornice to home garage
- Semi-frameless shower screens with pivot doors

PAINTWORK

EXTERNAL

- Front Entry door: Gloss enamel finish
- Woodwork: External acrylic

INTERNAL

- Woodwork: Gloss enamel finish
- Ceilings: Flat acrylic
- Matt Acrylic 3 Coat Premium Paint System

KITCHEN

- Cupboards — Modular cabinets including melamine shelves (Category 1 Range)
- 20mm square edge stone benchtop with 16mm shadowline (Category 1 Range)
- Extensive Kitchen base cabinetry (Category 1 Range)
- Doors and Drawers — Square edge laminate (Category 1 Range)
- Chrome handles (Category 1 Range)
- Chrome 1 3/4 bowl sink with drainer
- Dishwasher
- Chrome sink mixer tap
- Laminate overhead cupboards (Category 1 Range)
- 900mm upright cooker and 900mm canopy rangehood
- Ceramic wall tiles to Kitchen splashback (Category 1 Range)
- Kitchen rangehood externally flued

STORAGE

- Robes—White melamine top shelf with hanging rail and hinged doors
- Walk in Robe—White melamine top shelf with hanging rail
- Pantry—Four white melamine shelves
- Linen—Four white melamine shelves

BATHROOMS, ENSUITE & POWDER ROOM

(IF APPLICABLE)

- 1100mm high polished edge mirrors to full width of vanity
- Ceramic wall and floor tiles up to 400mm x 400mm (Category 1 range)
- Laminate cabinetry including benchtops from Category 1 range
- White toilet suites
- White semi recessed vanity basins
- Chrome basin mixers
- White bath
- Chrome Bath Outlet
- Tiled shower bases to Ensuite and Bathroom
- Chrome multifunction shower heads
- Semi-frameless shower screens with pivot doors
- 100mm high skirting tile to all wet areas (Excluding Kitchen)

LAUNDRY

- 45 litre stainless steel trough and steel cabinet
- Chrome sink mixer
- Chrome standard washing machine stops
- 100mm high skirting tile
- Aluminium Sliding door to Laundry

GARAGE

- Sectional overhead Garage door
- 820 x 2040mm tempered hardboard rear Entry door (design specific)

ELECTRICAL

- Double power points throughout (design specific)
- Fixed batten light points as per electrical plan
- 1 x external light to rear of home and 1 x side/laundry wall
- White switch plates from Category 1 range
- Hardwired smoke detector with battery backup
- Exhaust fans above all showers
- 2 x TV points including 5m coaxial cable to roof space
- 2 x Telephone points
- RCD safety switch and circuit breaker to meter box

HOT WATER UNIT

- 200lt Gas boosted Solar hot water system including 2 solar panel collectors

HEATING

- 3 Star Gas Ducted Heating unit—Ducted to all living areas and bedrooms

TERMITE TREATMENT

- Part A: Termite collars to all pipes passing through the concrete slab



Lot 6107 | Sejero2-17

Lot 6108 | Sejero2-17

SEJERO 2-17



Lot 6107

Knabstrupper Street

House Size: 159.10 m² | 17.13 sqs

Facade: S2 | Lot Size: 263 m²

Exterior Width 11,270 mm | Exterior Length 14,980 mm

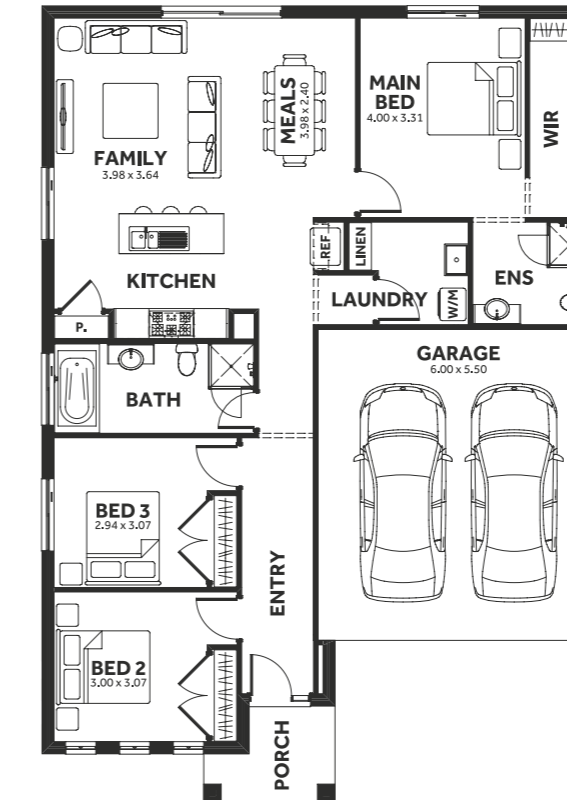
Lot 6108

Knabstrupper Street

House Size: 159.10 m² | 17.13 sqs

Facade: S1 | Lot Size: 263 m²

Exterior Width 11,270 mm | Exterior Length 14,980 mm





WOODLEA



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