

A guide to
**Maintaining
your new home.**

Welcome to your new home!

We hope you enjoy your new
Eight home as much as we
enjoyed building it for you.

This guide is designed to help you get the most
of your new home with detailed information
on how to maintain your home and understand
our service and warranty commitment to you.

Correct maintenance of your home is a proactive
and cost-effective way to ensure its longevity,
safety and value for many years to come.
Regular upkeep will also maintain overall
comfort and livability for you and your family.





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Service & Warranty

Defect Liability Period (DLP)

- 1** Commences from the day of settlement.
 - 2** What's not covered in your new home:
 - Cracks less than 2mm.
 - Disposable items such as light globes, tap washers etc.
 - 3** We recommend that you start making a list of concerns and issues you find in your new home to ensure that your DLP inspection is comprehensive.
 - 4** Appliance warranties (ovens, dishwasher, heating, cooling and hot water) transfer to you from settlement. For issues, contact the supplier directly using your homes address. Supplier details on our website.
 - 5** Your DLP timeframe will be specified in your Master Builders Contract.
- Note:** All claims must be submitted using the official form available on our website. Submissions made through any other method will not be processed.

To submit your Defect Liability Period (DLP) service items list visit; **www.8homes.com.au/service**



GENERAL MAINTENANCE TIPS

- Do not overload shelving and hanging rails; they are designed to carry normal household items.
- Ensure adequate ventilation, including fresh air and functioning ceiling and exhaust fans.
- Conduct regular homeowner inspections, including (but not limited to):
 - Paint
 - Termite management systems
 - Damp proof courses
 - Steel and aluminium corrosion
 - Masonry movement
- General home maintenance including:
 - Replacing light bulbs
 - Replacing tap washers
 - Repairing hairline cracks
- Schedule regular maintenance for:
 - Garage panel door
 - Heating and cooling systems
 - Hot water service
 - Grout, Caulking around shower base and baths



Warranty.

Eight Homes Responsibility

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- The warranty covers any workmanship issues in your home, in compliance with relevant laws, standards, and as outlined in your Contract Specification.
- Eight Homes reserves the right to use the original trades and materials from the construction of your home for any necessary repairs.
- Eight Homes will provide free advice and information upon request via: www.eighthomes.com.au/service and will investigate any quality-related concerns. Where appropriate, our experienced warranty team will determine if an onsite inspection is needed.

Homeowners Responsibility



- Conduct regular inspections around your home to identify early signs of wear and tear, helping to minimise ongoing maintenance.
- Perform routine cleaning to prevent the accumulation of mould, dust, and moisture, which can lead to rust, discolouration, rot, and attract pests.
- All Eight Homes clients have a 'duty of care' to maintain and service their homes, as all homes require regular maintenance and repairs.

Service Inspection.

Eight Homes Responsibility

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- Following the completion of the maintenance inspection, an Eight Homes-approved maintenance contractor, along with any necessary suppliers or manufacturers, will contact you to arrange times for any agreed warranty work to be completed.
- In accordance with OH&S regulations, all tradespeople are required to wear PPE for their safety. This includes wearing foot protection while working.

Homeowners Responsibility



- A list of suppliers who have third-party warranties applicable to your home are listed on our website. It is the homeowner's responsibility to contact these suppliers regarding their third-party warranties, please visit www.eighthomes.com.au/service.
- To submit a new claim, please visit www.eighthomes.com.au/service and complete the claim form, including photos of all relevant items.
- Ensure that there is clear access by removing furniture or any other items that may obstruct the work to be performed before tradespeople arrive at your property.
- In line with our pre inspection checklist, please restrain all pets to ensure a secure working environment for the tradespeople.

The first few months in your home

Many of the materials used to build a home contain moisture and although home-owners are not likely to feel it, there is a great deal of moisture around when you first move in.

As the house is lived in and heated, it has to dry out. Timber, brick and plaster-lined areas may shrink during this drying-out process, causing small cracks in these areas. Slight movement and shrinkage may occur. They will not affect your homes structural integrity.

It is most important not to excessively heat the home initially. The home will need to acclimatise internally over a period of weeks to allow moisture in the materials to escape gradually.

If excessive heating is applied to the home over a short period of time it could lead to materials experiencing substantial shrinkage and damage.



MAINTENANCE TIPS

Drainage

The ground immediately around your home should be graded away from the building, as part of your landscaping. The Building Code of Australia (BCA) requires that surface drainage is provided at a minimum fall of 50mm over the first meter from the home or, if in low rainfall areas as (defined in the BCA), a minimum 25mm fall over the first meter.

Surface drains should be integrated with landscaping and soil retention systems to take water away from the house. Don't allow soil to interfere with drainage or allow landscaping to cover weepholes in brick walls. Weepholes are the gaps left to allow moisture to escape from the wall cavity.

The storm water drainage system, including soaker pits and agricultural drains, should be installed at an appropriate distance away from the house that will not create moisture problems for the foundations of the house. A geotechnical engineer may need to be consulted to determine what an appropriate distance is.

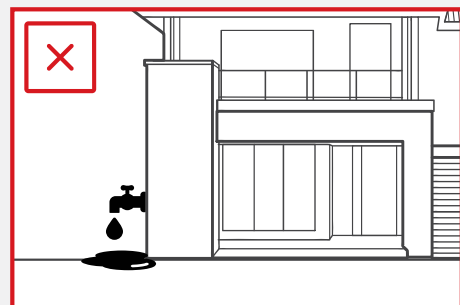
It is important that before carrying out any landscaping or digging that the position of subsoil drains are noted to avoid possible damage. If a drain is damaged or if a leak in a subsoil drain is detected you must contact a licensed or registered plumber immediately and have it repaired.

Clay soils are subject to drying (shrinkage) and expansion (swelling). Generally, dwellings built during the 'drier than normal' periods are more susceptible to damage when there is a return to a normal seasonal or a wetter seasonal cycle. It is of critical importance that correct drainage and landscaping is implemented around the perimeter of the dwelling. The CSIRO – Foundation Maintenance and Footing Performance: A Homeowner's Guide, BTF 18 makes specific reference to this in the section titled Prevention/Cure.

Where surface water flows towards the dwelling or poor landscaping practices exist the clay soils swell and lifts the exposed extremities of the footing system. The lifting of the extremities of the footings is often referred to as 'dishing' which simply describes the external footings being at a higher level than the centre of the dwelling.



Ensure drains underground are not damaged during landscaping or other works. Damaged pipes should be repaired as soon as possible by a quality registered plumber.



Do not leave taps running or allow taps to be dripping or leaking.



MAINTENANCE TIPS

Landscaping & Gardens

It is important to regulate the amount of water used close to the house slab and footings and aim to keep the moisture content of the soil as even as possible.

We have attached a copy of the CSIRO pamphlet, Guide to Home-Owners on Foundation Maintenance and Footing Performance (Building Technology Note 18) which explains more about how to look after your foundation.

We strongly recommend that you fully understand this document and your obligations to eliminate as much footing movement as possible.

It is also important that landscaping and garden beds are not placed directly against the walls and footings of the home as this may create problems with your homes footings system.

Termite protection measures should be maintained and need to remain visible for annual inspection, garden beds may make a proper inspection difficult.



Do not leave your home without landscaping, particularly if your soil is classified as moderately, highly or extremely reactive. For these areas it is recommended that an apron of paving be installed around the home



Do not plant trees close to your home because they dry the soil and can cause foundation movement

MAINTENANCE TIPS

Trees & Shrubs

It is important to select and position your trees and shrubs carefully. Some tree roots take in excessive amounts of water and produce very dry conditions in a small localized area causing inconsistent movement in the soil beneath the house.

Some tree roots may also cause cracking of concrete by exerting pressure against or under the concrete footing. This is a particular problem if the soil near the tree dries out as the roots extend in search of moisture.

It is essential that prior to planting trees or shrubs near the foundations of the home, advice is sought from an arborist, geotechnical engineer or both. Tree roots can also be persistent and costly menaces to your household sewer and stormwater pipes.

It is recommended that trees are planted as far away from sewer lines as possible.



Do not plant trees close to your home because they dry the soil and can cause foundation movement.



Avoid planting large trees or shrubs: follow the guideline of approx. 1.5 x mature height of the tree or shrub as the minimum planting distance from the home.

Watering

In suburbs without water restrictions, gardens and lawns should be watered adequately but not excessively.

Over-watering may lead to excessive water build-up and this may have the potential to affect the footings of your home and lead to excessive movement and damage. Watering systems must be carefully placed and monitored to avoid over-watering.



Slab & foundations

The slab and foundations form the critical base of your home, ensuring structural stability and longevity. Proper care and monitoring will help maintain their integrity over time.

Eight Homes Responsibility

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- An Engineer has designed your home to comply with the relevant standards and building codes.
- Eight Homes may install riser pipes connected to the stormwater system; however, these are intended solely for construction purposes and are not designed for landscaping. If riser pipes are required for landscaping, the owner should consult with a professional landscaper and a licensed plumber before starting any external landscaping work.
- Ensure that at handover the area around your slab drains away with a minimum of 50mm fall in the first one meter. Please be aware that this finish is only achieved with materials found on your site.

Homeowners Responsibility



- Ensure landscaping, drainage, and paving is installed in accordance with the CSIRO guide which forms part of your contract. A copy is provided as part of your handover process. This work needs to be completed as soon as possible after handover.
- Install concrete paving around the perimeter of the dwelling as soon as possible after handover, including the caulking of the concrete to the dwelling.
- Regularly check your concrete paving, landscaping, and general stormwater drainage for damage.
- Monitor your house for any cracks and advise Eight Homes if they exceed 2mm in width.
- Avoid allowing abnormal moisture conditions to develop or persist near or beneath the slab for any extended period.
- Consult an expert when designing your landscaping to ensure adequate site drainage.
- Never place garden beds close to your home, as they can cause excessive moisture build-up in these areas, which could increase the risk of significant movement.
- Ensure landscaping slopes away from your home, with a minimum 50mm drop over the first meter. Drains around the slab should divert surface water, and subgrade material under concrete must be properly compacted. Refer to CSIRO and VBA guidelines and consult a professional landscaper before starting work.
- Avoid planting trees and shrubs near the footings of your home, including in garden beds. Please note: the risk of damage from trees increases with the tree's final height and its proximity to your home. Refer to the CSIRO and VBA guidelines for further details.

Driveways & paving

Driveways and paving enhance your home's functionality and curb appeal, providing durable surfaces for vehicles and foot traffic. Regular maintenance ensures they remain safe, attractive, and long-lasting.

Eight Homes Responsibility

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- Eight Homes performs a CCTV camera inspection of all main stormwater and sewer lines before handover to ensure a fully sealed and functional system for all our clients.

This inspection is carried out by trained professionals, and the recorded information is reviewed and kept on file for future reference.



Homeowners Responsibility



- Where concrete or paving meets the home, they should be separated by a layer of 'Able flex'. Once installed correctly, this product must be caulked between the paving and the home to prevent water entering the able flex joint.
- When installing paving care should be taken to ensure moisture content around the slab is as even as possible. For example, the placement of large areas of concrete paving on one side of the house while leaving gardens or bare ground on the other side should be avoided.
- Any damage or leaks to stormwater or sewer pipes should be repaired by a licensed plumber. A camera inspection should be conducted before and after installing concrete, paving, decking, or any other structure over the pipe.
- Driveways should be graded to direct water away from garage doors wherever possible. If the grading slopes toward the garage, a drainage grate should be installed across the full width of the garage door and connected to the stormwater system by a licensed plumber.
- When installing concrete around the perimeter of your home, you may need to remove some soil to maintain at least 75mm clearance between the finished concrete level and the bottom of the damp-proof course (weepholes).
- Ensure that weepholes are not covered, and prevent neighbouring garage walls, soil buildup, or garden landscaping from obstructing the weepholes. This will ensure proper moisture drainage from the wall cavity.
- It is the owner's responsibility to prepare the surface level below the landscaping/ concreting to ensure 50mm land fall away from the home.





10 Year Structural Warranty

- 1** Commences from the day your building permit is issued.
- 2** This warranty protects the original owner and subsequent owners if Eight Homes fails to resolve any defects, which are deemed by law to be the builder's responsibility, within the 7-years statutory warranty period.
- 3** If at anytime within this period you have a concern or issue with your home, please log a request at [**www.8homes.com.au/service**](http://www.8homes.com.au/service).

25 Year Structural Warranty

- 1** Starts from the day your certificate of occupancy is issued.
- 2** The period between the 7-year structural warranty and the 25-Year builder guarantee is covered by Eight Homes alone.

External home maintenance

There are many different materials making up the exterior of your home, understanding how they work and what's required to ensure their longevity is crucial in maintaining the integrity and aesthetic of your new home.





Shrinkage & minor cracking

Your new home is constructed of a combination of materials such as timber, bricks and concrete.

All these materials can move under differing moisture conditions. This movement can cause shrinkage to timber, brick, concrete and plaster-lined areas.

MAINTENANCE TIPS



Any shrinkage and minor cracking as a result of the house settling after construction does not affect the structural integrity of your new home.

If you have any concerns, contact the team at **www.8homes.com.au/service**

Bricks

Your bricks are an important aesthetic feature of your home, to keep your brickwork looking their best, there are some simple maintenance tips that you can follow in order to maintain the appearance of your home as years go by.

MAINTENANCE TIPS



Weep holes

Weep holes are designed to allow any moisture that penetrates the bricks or mortar to escape. Weep holes are simply a vertical drain hole in the brick work normally situated in the wall which is commonly the height of a brick and is normally the second or third brick course above ground level.

Building any form of structure over your weep holes or blocking them can reduce the ability for this water to escape and reduce the ventilation of the wall.

This can also allow pests to infiltrate your protection barrier.



Damp proof membrane

The damp proof membrane is the black plastic layer that is normally located underneath the second row of bricks. The damp proof is designed to prevent moisture rising up the brickwork.

The placement of garden beds, paved, concreted or tiled areas should be below the level of the installed damp proof membrane and weep holes in your brickwork.

Brick staining

Bricks are a natural product and as such can be subject to staining by both natural and artificial elements. The most common causes of staining are:

MAINTENANCE TIPS

Efflorescence

Efflorescence is a powdery deposit of salts which forms on the surface of bricks and mortar. It is usually white, but efflorescence can be yellow, green or brown.

A temporary efflorescence is particularly common on new brickwork as soluble salts are transported to the surface of the brick work by water. Efflorescence on new brickwork will not cause damage and is easily removed by brushing.

Brush off the deposit with a stiff dry bristle brush after the wall has dried out.

Calcium Deposits

Calcium deposits present as a white staining that appear almost as a milky film on the brickwork. These deposits are insoluble in water and are invisible when wet. Unlike efflorescence these deposits are hard and can't be brushed off.

Most commonly this staining can arise from the curing reaction of the cement, which can leach out of cement mortar.

To remove the calcium deposits the most common practice is to apply Noskum to stained bricks and allow the solution to penetrate, scrub vigorously and wash off with plenty of water.



Render

Maintaining the exterior render of your home is crucial to preserve its appearance and longevity. Here are some simple maintenance steps you should follow:

MAINTENANCE TIPS

Cleaning the rendered surfaces

Use a water sprayer with pressure less than 450psi, spraying cold water at a 45-degree angle from the wall, not perpendicular. Keep the fan of the water blast at least 50cm away from the surface to prevent damage.

Detergent solution – use a soft brush with a solution of detergent and warm water to gently clean the surface.

Stubborn dirt removal – for ingrained dirt or grime, use a scrubbing brush with the detergent solution. Avoid using a high-pressure water for this step.

Regular checks on exterior

Inspect sealants – look for cracked, loose, or missing sealants, especially in areas where different substrates meet (e.g., above door openings, windows, pipes, soffit lines, and where fittings are attached to walls).

Also, check control joints. Replace deteriorated or damaged sealant immediately.

Monitor exposed areas – pay attention to areas heavily exposed to the elements, such as balconies and handrail tops. These areas tend to accumulate dirt and grime, leading to mold growth if not cleaned regularly. Also, check for any signs of movement due to thermal changes and maintain accordingly.

Check hidden areas – regularly inspect areas that are cold and dark, like behind foliage. Dirt buildup in these areas can accelerate mold and algae growth, causing deterioration of the render.

Recoating

It's recommended to recoat the surface after 5 years to refresh its appearance and maintain its integrity.

By following these maintenance steps, you can ensure that your rendered surfaces stay in good condition and retain their aesthetic appeal for years to come.

Eight Homes Responsibility

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- If cracks in brickwork or render are identified, Eight Homes will monitor them over time and perform any necessary repairs if needed.
- If necessary, structural engineers or brick manufacturers may be consulted to assess the situation and provide recommendations for any required actions.

Homeowners Responsibility



- If cracking between 2–5mm is observed in the brickwork or render, submit a new claim form via www.eighthomes.com.au/service. A 12-month monitoring period applies to all cracking identified.
- Regularly clean the render to prevent the buildup of dirt or grime by lightly spraying with a hose or using a soft brush attached to an extendable pole.
- Avoid using harsh chemicals or high-pressure washers on rendered surfaces, as they can cause fading or excessive wear.
- Consult with a structural engineer before attaching any additional structures to your home, such as alfresco, verandas, shade sails, or basketball hoops.



Damp proof, articulation joints & lintels

Eight Homes utilises galvanized steel lintels above windows and doors, which do not require painting due to their protective coating. Variations in brick sizes and bricklaying techniques may necessitate an infill between the top of the window and the underside of the steel lintel. It is common to observe the internal holes of bricks placed directly on the lintel, as bricks are often wider than the lintel itself.

Articulation joints are engineered to accommodate the expansion and contraction of the house as it settles and during seasonal changes. Consequently, cracking and movement of sealants within these control joints are expected and considered normal. Cracking in articulation joints on rendered walls indicates that the joints are functioning as designed and is not classified as a defect.

When a damp proof course (DPC) is rendered, fine hairline cracking may appear around the perimeter of the home, which is a normal occurrence and not deemed a defect. Similarly, cracking in render at the DPC above windows and at approximately the first-floor level of a two-storey home is predictable and expected.

Eight Homes Responsibility

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- If excessive movement in the Damp Proof Course is identified, Eight Homes will monitor and assess the situation as needed.
- At handover, all articulation joints will be free of debris and properly sealed.

Homeowners Responsibility



- Ensure that articulation joints are kept clear.
- If cracking in the Damp Proof Course or excessive movement in the articulation joints occurs, please contact Eight Homes www.eighthomes.com.au/service

Roof tiles

Your roof tiles are important for keeping your home safe and cosy, and giving them a little love will help them stay in top shape for years to come! Check out these friendly and practical tips to boost the lifespan and durability of your roof.

MAINTENANCE TIPS

- Check your gutters, downpipes and valleys for blockages.
- Check for damage annually or after storms.
Please note. Roof tiles are not designed to walk on. It can cause damage that is not covered by warranty.
- If tiles need to be repaired or if you're after further advise, please contact the manufacturer.
- You should book a professional to clean your roof at least once a year, twice if you live in a particularly tree lined area. Every 5-7 years, you should have your roof checked by an expert tradesperson.



Eight Homes Responsibility

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- A final inspection and roof service are performed on every completed home before handover. Any tile breakage after handover is the responsibility of the owner.

Homeowners Responsibility



- Regularly check roof tiles, flashings, and pointing, particularly after significant weather events.
- Replace any loose tiles as needed with the help of a qualified roofing contractor.
- Ensure that roof tiles are not damaged when trades people (such as antenna installers or solar panel technicians) access the roof, as this could void your warranty and future repairs.
- Any damaged tiles should be repaired promptly to minimise the risk of moisture and pests entering your home.



COLORBOND® roof

Simple maintenance of COLORBOND® steel by regular washing with clean, fresh water will not only prolong its life but also maintain its attractiveness for longer periods thus protecting your asset.

If cared for, your building components made from COLORBOND® steel should give many years of easy maintenance life. Visit colorbond.com.au for other warranty information.

MAINTENANCE TIPS

- In coastal areas roofs should be hosed down at least every six months and more frequently in areas where marine salt spray is prevalent, and in areas where high levels of industrial fallout occur.
- Ensure that there is no build-up of debris, such as soil or Lichen on the roof.
- Visit colorbond.com.au for further warranty information.

Eight Homes Responsibility

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- A final inspection and roof service are conducted on every completed home before handover.
- Ensure that a Roofing Plumbing Compliance Certificate is provided to the client at handover.

Homeowners Responsibility



- Clean Roof sheets at least every 12 month and more often when subject to salt spray.

Gutter & downpipes

Regular maintenance of your gutters and downpipes is essential for significantly extending their lifespan and ensuring they continue to function effectively.

By keeping them clean and well-maintained, you'll not only enhance their durability but also preserve their attractive appearance for many years to come.

MAINTENANCE TIPS

Wash with a hose at least every six months (more frequently in coastal areas).

If hosing down areas does not remove all dirt:

1 Wash the surface with a mild solution of pure soap or mild non-abrasive kitchen detergent in warm water.

2 Application should be with a sponge, soft cloth or soft bristle nylon brush and should be gentle to prevent shiny spots.

3 Thoroughly rinse with clean water immediately after cleaning to remove traces of detergent

4 Never use abrasive or solvent type cleaners (turps, petrol, kerosene, paint thinners) on your gutters or downpipes.

Eight Homes Responsibility

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- A final inspection of the fascia and guttering is conducted on every completed home before handover to ensure there is no damage or defects.
- Ensure that a Roofing Plumbing Compliance Certificate is issued to the client at handover.

Homeowners Responsibility



- Clean fascia, downpipes, and guttering periodically after handover.
- Regularly check downpipes, particularly before major weather events, to ensure there are no blockages.



External paintwork

Your house has been painted with high quality and long lasting Haymes paint. Below are some handy hints to help you extend the life of your paint.

MAINTENANCE TIPS

Keeping your paint fresh

- 1** Prepare a bucket of warm water mixed with a moderate amount of household detergent.
- 2** Apply to the entire painted area with a soft bristle brush, broom or soft cloth, naturally you will need ladders, scaffolding and a long handled applicator to reach some of the higher parts of your home's exterior, under eaves, along fascia's, etc.
- 3** Before the wall or other painted surface has the opportunity to dry, you should hose it down thoroughly with clean water. Hosing down by itself, is not usually sufficient to remove the normal build-up of road grime, sap stains, dust and so on.
- 4** We recommend washing all painted surfaces every two years to maintain the life of the paint.

Stains

For harder to remove stains, sugar soap and commercial bleaches might be needed. Care must be taken when using these chemicals on painted surfaces and no cleaning should be done without a preliminary test on a smaller surface that will not be visible if damage occurs.

High gloss enamels will be more susceptible to chemical change or breakdown.

Enamels may show discolouration and ageing after five years and tend to chalk due to UV light from the sun.



Garage door

Your garage door has been pre-painted with a high durability polyester paint system especially designed and tested for the harsh Australian conditions. However, all exposed surfaces require some maintenance to guard against corrosion and any other harmful atmospheric effects.

MAINTENANCE TIPS

- We recommend washing the door with clean water and a soft brush or cloth every 14 days. If your door is exposed to corrosive elements such as saltwater, more frequent washing is advised.
 - We recommended that you check the operation of your Garage door at least every three to six months.
 - Your garage door is covered by a manufacturer's warranty. Please refer to the booklet provided for details of the warranty and the servicing recommendations for your garage door.
- If required, the contact details for the garage door supplier are at the back of this booklet.

Hint: The best way to tell if your door is operating correctly is to manually open and close the door. If the door is operating correctly it should take about the same amount of pressure to open the door. Ensure that you put the door into manual mode before manually operating the door.

Lubrication (every 3-6 months)

Guide Tracks: Clean the internal sections of the guide tracks with a cloth dampened with mineral turps or methylated spirits. Polish vigorously to achieve a smooth, dirt and moisture resistant surface. Do not use grease or oil on the guide tracks.

Steel Hinges: Sparingly lubricate with an all-purpose machine oil, also lubricate wheel to axle bearings.

Plastic Hinges: No lubrication is generally required; however, lithium grease can be used sparingly, or silicon spray may be used if necessary.

Springs: If accessible wipe over with an oily rag.

Locks: Your lock does not require special maintenance, however if the key becomes stiff, a spray lubricant such as RP7 is recommended. Do not grease the lock.

To keep your door running well, it is recommended that your door be serviced by an experienced technician, every year or earlier if required.

Homeowners Responsibility



- If door adjustments are required, please contact the garage door manufacturer for support.
- Clean your garage door regularly.
- Refer to the manufacturer's label on the door for contact details.
- Have your garage door and motor serviced annually.



Windows

Gaps between the bottom of window sill and the top of the brick sill are normal in residential homes, they are intentionally left to accommodate house settlement over time. Aluminium windows are typically equipped with a rubber bulb seal to protect this area, while timber window sills do not have this feature.

Windows may experience leaks during extreme weather conditions or when washed with a hose, and such occurrences are not considered defects. However, windows should remain watertight under normal weather conditions. If a window is found to be leaking under typical conditions, the manufacturer may be requested to assess the window and provide a written report to Eight Homes to facilitate any necessary repairs.

Scratches on window glass or frames identified after the handover of the home will not be classified as defects. Regular maintenance and careful handling of windows can help preserve their appearance and functionality over time.

MAINTENANCE TIPS

Window Frames: Cleaning exterior surfaces coated in Matt, Low Sheen, Semi Gloss and Gloss finishes:

- 1 Prepare a bucket of warm water mixed with a moderate amount of household detergent.
- 2 Apply to the entire painted area with a soft bristle brush, broom or soft cloth, naturally you will need ladders, scaffolding and a long handled applicator to reach some of the higher parts of your home's exterior, under eaves, along fascias, etc.
- 3 Before the wall or other painted surface has had the opportunity to dry, hose it down thoroughly with clean water.
Hosing down by itself, is not usually sufficient to remove the normal build-up of road grime, sap stains, dust and so on.
- 4 We recommend washing your walls every two years to maintain the life of the paint.

Eight Homes Responsibility

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- A final inspection of all windows is conducted at PCI on every completed home to ensure they are in good working order.

Homeowners Responsibility



- Regularly clean window tracks and rollers in line with manufactures recommendations.
- Ensure all glass is cleaned and free of damage at handover. All damage or scratches identified after handover are the owner's responsibility.
- In areas exposed to salt air or industrial pollutants, frequent cleaning is required. Refer to manufactures recommendations.
- Clean weepholes in sill tracks to prevent water buildup.
- Timber windows exposed to the elements require ongoing maintenance, including recoating every 12 months.

Termite protection

We provide termite protection to your new home during and at the completion of construction using a spray system, this system comes with a 50-year warranty. To maintain your warranty and the system, follow these steps:

MAINTENANCE TIPS

- Any landscaping and changes in soil levels will disturb the chemical barrier. You must re-apply the chemicals to the system otherwise your home will be unprotected and your warranty void.

Carrying out the following tasks can also disturb the system – digging next to the house, replacing old plants, installing a water irrigation system or covering areas with wood chips may cover weep holes.
- Before laying concrete paths or adding verandas, decks, or pergolas to your home, notify an installer to check if extra pipework or chemical barrier retreatment is needed.
- At least every 3-years, have the chemical replenished into your system.
- It is advisable that you do not store timber, refuse, firewood or similar materials close to the home. This may bridge the termite barrier and void your warranty.
- It is advisable to regularly inspect the perimeter of your home for signs of system breaches and to also check the landscaping for termite activity.
- An inspection of the termite barrier around your home should be completed yearly by a qualified professional.

If you find live termites?

Do not disturb the area! Termites are extremely sensitive and will leave if disturbed, affecting treatment. It is best to contact a Termguard installer so they can determine if the system has been breached and the best form of treatment.

Eight Homes Responsibility

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- Ensure that all necessary certificates are provided and that the components of your termite management system are installed according to the manufacturer's specifications.
- Have the termite management system designed for the building fully commissioned and operational before the day of handover.

Homeowners Responsibility



- Follow the recommended schedule from the installer to maintain the termite repellent.
- Schedule annual inspections by the installer, as failure to do so will void your warranty.
- Complete the termite registration form in your handover pack for annual reminders. Chemical top-ups are needed after the first annual inspection and every three years thereafter.

Solar panels

Should you choose to add a solar system to your home after handover, an assessment of the roof is essential to determine if the structure can bear the additional weight. Solar panels can be heavy, typically ranging from 18-20kg per panel.

Before fitting solar panels, you must engage an engineer to evaluate the existing roof's construction, materials, and condition to determine if it can withstand the additional weight of solar panels.

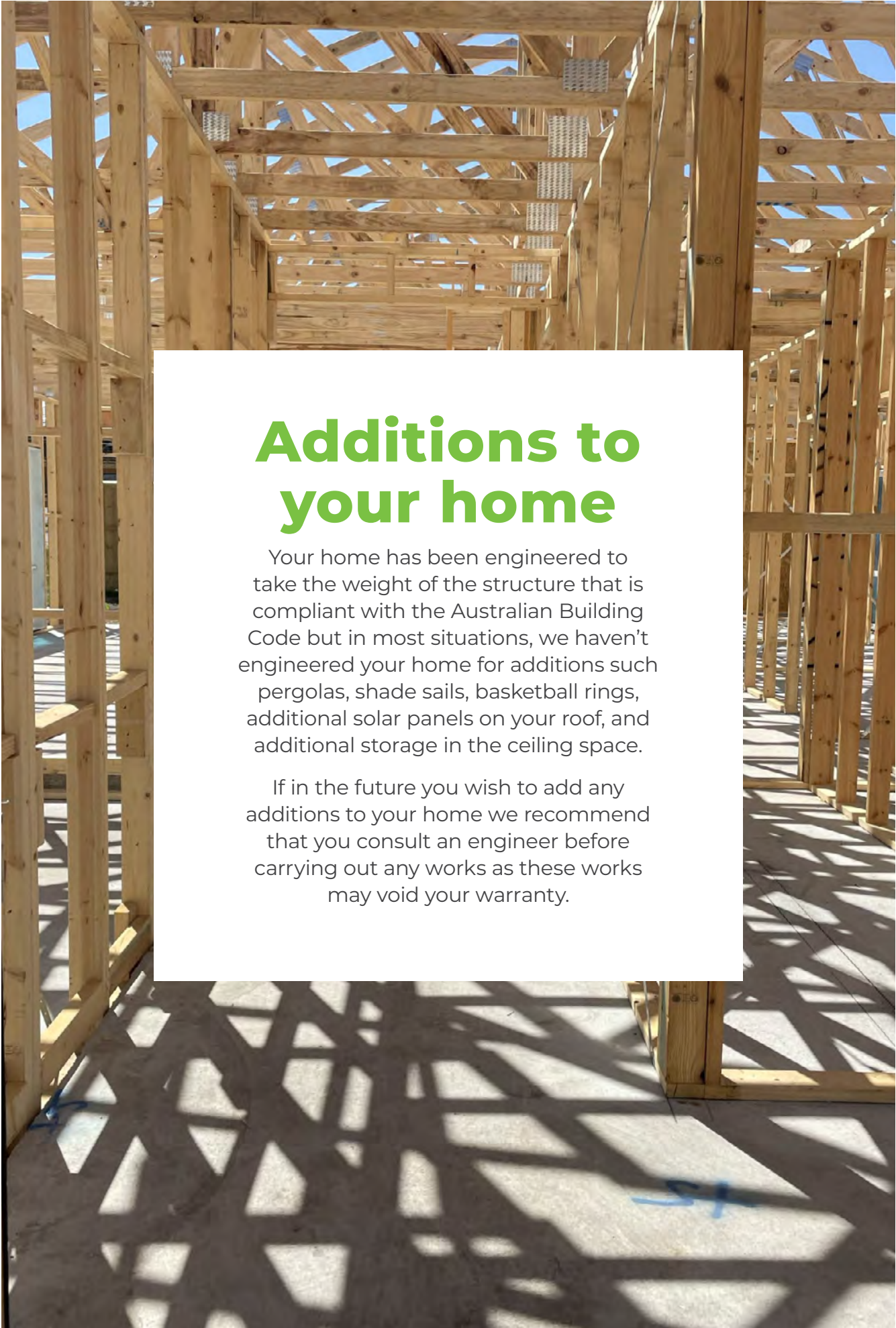
This analysis is crucial to prevent any potential damage or structural issues such as sagging, leaks, or even collapse.

Depending on the roof's design, reinforcements like additional framing or supports may be required to distribute the weight of the panels evenly.

In some cases, engineers might recommend redistributing loads or even strengthening the entire roof structure.

By carefully considering the impact of the added weight, engineers ensure that the installation of solar panels not only generates renewable energy but also maintains the integrity and safety of the house's structure.





Additions to your home

Your home has been engineered to take the weight of the structure that is compliant with the Australian Building Code but in most situations, we haven't engineered your home for additions such as pergolas, shade sails, basketball rings, additional solar panels on your roof, and additional storage in the ceiling space.

If in the future you wish to add any additions to your home we recommend that you consult an engineer before carrying out any works as these works may void your warranty.

Internal home maintenance

A big part of internal home maintenance is knowing the correct way to clean the many different materials in your new home not just to keep them looking great but to ensure they last for many years.





Prevention of Mould

The best way to avoid mould from growing in your home, we recommend that you do the following:

MAINTENANCE TIPS



- Don't allow excess water from bathroom and ensuite floors after showering or bathing to build up or sit on the floor for long periods;
- Always use your exhaust fans when showering or bathing;
- Regularly inspect the shower screen and silicone seals to your showers;
- Open your windows on dry days;
- Ensure the weep holes in your brickwork are kept clear and are not blocked.

Carpet

Taking proper care of your new carpet will ensure lasting quality and a long life in your home. Each type of product is different in its material and construction, so it's vital that you follow the specific care and maintenance information provided to you when you purchase your new floor covering.

MAINTENANCE TIPS

Care and Cleaning

Cleaning and maintaining your new floor is crucial to keep it looking its best and ensuring your valuable investment lasts well into the future.

While calling in a professional cleaner can be extremely beneficial for an occasional deep clean, being able to correctly care for your flooring surface yourself will save you a considerable amount of money in the long run.

Carpet is durable and resilient, and a lot easier to clean than you might think. Our quality carpet products are designed to hold

up against heavy wear and traffic, and clean easily when the correct cleaning products and methods are used.

Your new carpet simply requires a regular vacuum once or twice a week, (higher traffic areas would benefit from a vacuum at least twice a week).

The quick removal of spills as soon as they occur to prevent staining, and a deep steam clean every 1-2 years. Your cleaning program will vary depending on the amount of foot traffic your carpet is exposed to every day.

There are three basic requirements for caring for and cleaning your carpet that will help it stay looking great, keep it sanitary and ultimately prolong your carpet's life:

- 1 Vacuuming your carpet frequently and thoroughly
- 2 Cleaning up all spills promptly
- 3 Periodically employing professional steam cleaning services

Eight Homes Responsibility

8

- A final inspection of the carpet is conducted by the Construction Supervisor at PCI/handover to ensure it is in good condition.
- Eight Homes will address any observed rippling in the carpet within 12 months of handover.
- Provide contact details for supplier for third party warranties.

Homeowners Responsibility



- All flooring should be cleaned and maintained in line with Manufacturer's instructions.
- Vacuum carpets thoroughly and regularly, including areas under beds, behind curtains/blinds, inside wardrobes, along skirtings, and beneath furniture.

MAINTENANCE TIPS

Spills and Spot Cleaning

Spills need to be attended to immediately. It's a good idea to keep a carpet cleaning kit with white cloths, paper towel, a spray bottle of water, a plastic scraper and some Scotchgard Carpet Cleaner handy.

Whilst many of our carpets are treated with water resistant products it's still best to take care of spills straight away to ensure liquids don't penetrate the pile and stain/discolour the carpet.

It is important you ensure you don't let a cool spill dry or a hot spill cool. To spot clean a spill simply:

- 1** Scooping up any solids with your plastic scraper or a spoon, making sure you avoid scraping them down into the surface of the carpet.
- 2** Blot remaining liquid with an absorbent white cloth or paper towel (don't use one with prints or colours, these may bleed into the spill and make it worse!).

Push the cloth into the carpet with the heel of your hand. Don't use a brush or scrub as this will damage the carpet, leaving a fuzzy or frayed area. If the spill is particularly large you can use a wet/dry vacuum to remove the majority of the spill before blotting.
- 3** Pre-test your carpet cleaner on a small inconspicuous area of carpet to ensure it is suitable to use on your carpet.

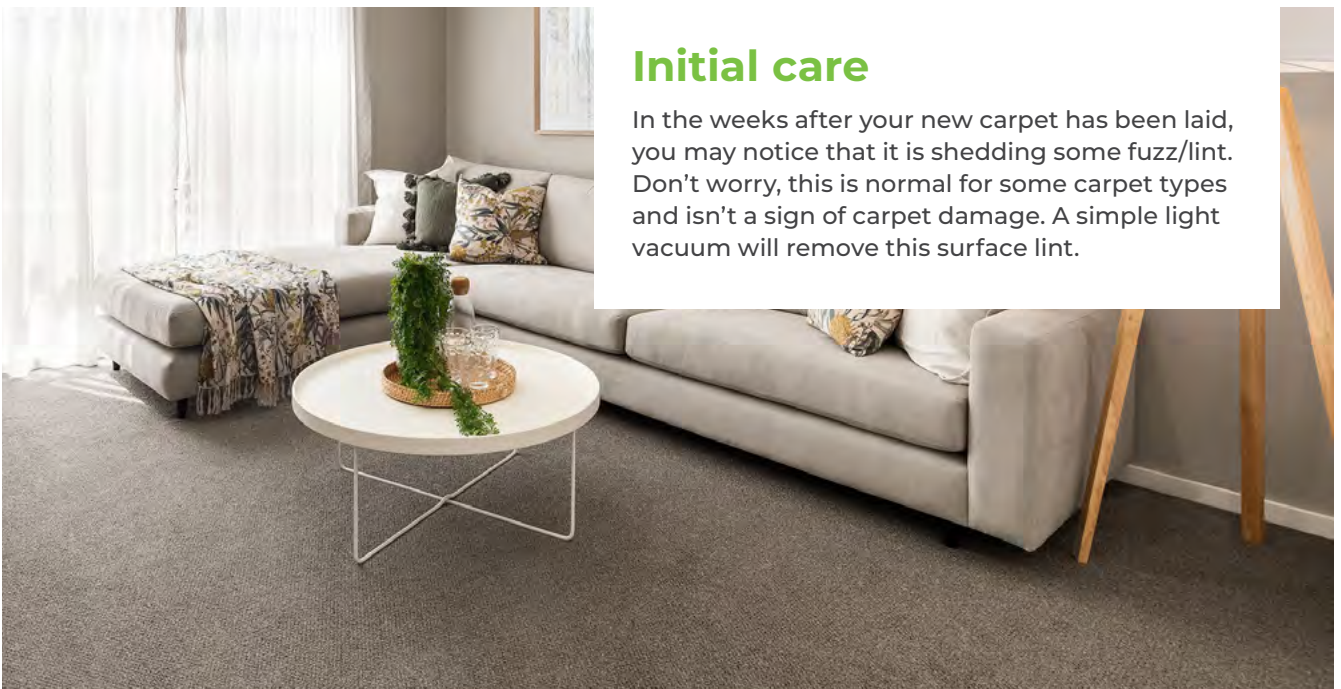
- 4** Dab a small amount of a certified carpet cleaning product around the spill, working it gently from the edges to the centre.

Remember to always follow the directions on the container and rinse your cloth frequently.

- 5** Remove excess foam and cleaner. Dip a white cloth in water and blot the area to remove any remaining cleaner. Blot again with a dry towel. Repeat these two steps until no more residue comes out.

- 6** Dry by placing a few layers of paper towel or white cloth over the cleaned area. To absorb the remaining moisture weigh this down with an object that won't transfer colour.

If you need to dry the area quickly, a hair dryer can be used but ensure it is set on 'warm' not 'hot' otherwise you may damage your carpet.



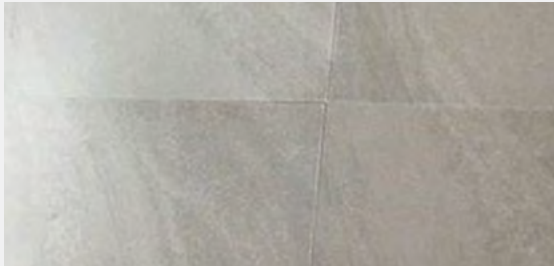
Initial care

In the weeks after your new carpet has been laid, you may notice that it is shedding some fuzz/lint. Don't worry, this is normal for some carpet types and isn't a sign of carpet damage. A simple light vacuum will remove this surface lint.

Tile Care

All surfaces in your home require regular cleaning to prevent the accumulation of contaminants

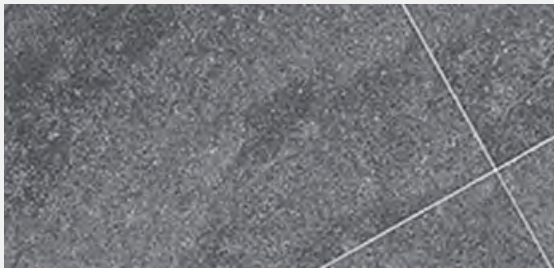
MAINTENANCE TIPS



Glazed ceramic & porcelain tiles

Maintaining these surfaces can be achieved by sweeping or vacuuming, and then washing the area using a specialised tile cleaning agent available from your tile merchant.

Rinse surface thoroughly afterwards, using clean water. Residual streaks, detergent marks and films can result from excessive use of cleaning agents. Do not use acid to clean as this may affect or damage the surface.



Unglazed tiles

Unglazed tiles while durable are more porous and can require more specific maintenance. Eight Homes recommends the use of sealers.

Spills or accidents that result in contaminants on the surface may stain. Often, unglazed tiles are sealed for ease of maintenance or future cleaning.



Polished porcelain tiles

Generally, the cleaning and maintenance of polished porcelain is not too dissimilar to that of ceramic tiles. Different brands of polished porcelains may, however, recommend varying methods of cleaning and maintenance.

Do not use acid to clean polished porcelain as this may affect or damage the surface.



Glass & metallic tiles

When cleaning these tiles be careful not to use abrasive applicators, such as scouring sponges.

MAINTENANCE TIPS

Grout

Many grouts on the market have mould inhibitors which can help reduce mould growth. Mould can still occur if the conditions are severe or if a grout without mould inhibitor has been used.

Mould can be removed using specialised grout cleaners. Gels are particularly effective, as they can be left on the grout on badly affected areas, before washing off. Heavy-duty cleaners can help remove soap scum and other dirt build-up in extreme circumstances.

Mould or discolouration is basically the result of a build-up of soaps, shampoos and other residues left to dry. If this occurs, a heavy-duty cleaner may be necessary.

Freshly installed tiles may be covered overall or in patches with grout haze. This can be easily cleaned off with specialised products. Regularly inspect your grout for holes and loose pieces and repair as soon as possible to prevent water ingress below tiles.

Specific Stain Removal

Generally, the longer a stain has been left on a tile, the more difficult it will be to remove.

There are three simple steps to care and maintain your tiles:

- 1** Before mopping, always sweep or vacuum tiles to remove dust and dirt.
- 2** Always use a clean mop and add warm/hot water to the bucket. Most importantly,

change the dirty water for clean water every 20m²-30m² of mopping, otherwise you are just mopping your floors with dirty water!

- 3** Never add supermarket detergents to your water. These can leave a soapy residue on your tiles and can be the main cause of dirt sticking to the surface of things, like footprint marks appearing.

Eight Homes Responsibility

8

- A final inspection of all tiling is conducted by the Construction Supervisor at PCI before handover to ensure everything is in good condition.
- A further visual inspection of all tiling is carried out during the 6-month Inspection.
- Eight Homes will repair pitted, chipped, or scratched tiles covering more than 5% of the tiled area or room if determined that damage was caused by Eight Homes during construction.

Homeowners Responsibility



- Follow manufacturer's instructions for cleaning and maintenance of tiles.
- Check suppliers website for information on tile and grout sealers to avoid staining of grout.
- Notify the construction Supervisor at handover if you observe any pitted, chipped, or scratched tiles affecting more than 5% of the tiled area or room.

Laminate & engineered timber floor care

Prefinished engineered timber and Laminate floors are considered to be easy to maintain, but like all floor surfaces they do require cleaning and a few precautionary practices to maintain their appearance and preserve their service life. Always follow manufacturers instructions on how best to care for the flooring products in your home.

MAINTENANCE TIPS

Care guide

- Floors should be dry mopped regularly with a static mop. This practice not only picks up any lint and other dust, but also grit that can be damaging to the floor surface.
 - If pets are to be inside, it is necessary that their nails are kept trimmed and their paws clean, to further reduce excess grit.
 - Spills need to be wiped up as soon as possible. Failure to do so can discolour the finish, and if left unattended for a long period, this can damage the floor.
 - Legs of movable furniture, such as dining room chairs, need to have protective felt pads. When moving heavy objects, such as furniture or appliances, they need to be lifted into position. These practices prevent scratching of the floor surface.
 - Ensure that nothing hard rubs on the floor as it may mark or scratch it.
 - Footwear with high point loads, such as stiletto heels, will also damage timber floor surfaces.
 - Rugs and floor mats are very effective in trapping grit at doorways and reducing wear in high traffic areas.
- Please note:** UV light can alter both the coating and timber color, potentially causing color variations under rugs. To minimise this, avoid using rugs for the first six months or regularly reposition rugs and furniture during this period to reduce discoloration.
- Avoid rubber-backed or impervious-backed rugs, as they can damage the floor finish and block natural moisture vapor exchange through the timber surface.
- Ensure all rugs and floor mats are cleaned regularly to maintain their condition and the floor's appearance.

Eight Homes Responsibility

8

- A final inspection of the timber flooring is conducted by the Construction Supervisor at PCI before handover to ensure everything is in good condition.
- Provide supplier contact details for third party warranties.

Homeowners Responsibility



- All flooring should be maintained in line with Manufacturer's instructions.
- Avoid using wet or damp mops or steam mops.
- Ensure proper ventilation when operating your evaporative cooling system to avoid moisture accumulation.
- Consider periodically moving rugs and using window coverings to minimise discoloration or fading caused by direct sunlight.
- Use heavy mats or screens to protect flooring near heating appliances.
- Clean up liquid spills immediately.



MAINTENANCE TIPS

Cleaning guide

- Do not use cleaning methods or products not designed for engineered timber or laminate floors, such as scouring pads or cleaners that may contain abrasives, soaps, waxes, ammonia or silicon.
- Specific timber floor cleaning products should be used.
- Do not use steam mops (irrespective of what the product sales people may say) or any form of scrubbing mechanism.
- Do not use a wet mop on the floor: the floor can be cleaned with a microfibre mop with a controlled spray mist. Mop the floor in small sections.
- With all our Laminate and Engineered Timber products, cleaning and maintenance is quite easy – all you need is a vacuum, pH neutral cleaner and a micro fibre pad.
- Before mopping, always vacuum or sweep floors to remove dust and dirt.
- Using a light mist of water or neutral pH, non-toxic cleaner, lightly spray the area to be mopped.
- Use a microfibre pad to mop away dirt, grime and stains.

Note: Do not use excessive water or steam mops, as this will cause water damage to the floor and void any warranty.

Interior paintwork

Your home has been painted with quality Haymes paint – below are some handy hints to help you maintain your painted surfaces.

MAINTENANCE TIPS

Cleaning Guide

Cleaning interior surfaces coated in Low Sheen to Matt finishes:

- 1 For wall coatings or ceiling coatings that are flat finishes do not use rough abrasives or solvent cleaners, stiff scrubbing brushes or harsh caustic preparations. Instead, use warm water with a small amount of mild detergent.
- 2 Apply the solution to the affected area with a soft cloth, where the marking is particularly stubborn.
- 3 Having thoroughly cleaned the affected area, you should then proceed to wash down the whole wall or ceiling to eliminate any chance of patchiness.
- 4 Rinse off the washed area with clean water and allow to dry. Avoid vigorous scrubbing with chemicals or brushes and scourers to prevent burnishing the surfaces and causing shiny patches.

Cleaning interior surfaces coated in Semi Gloss and Gloss finishes:

- 1 Don't use abrasives or caustic-based cleaning compounds.
- 2 Instead use warm water, with a little detergent added. You can use a damp cloth and cleaner such as Ajax Spray n' Wipe or Selleys Sugar Soap Wall Wipes for stubborn stains.
- 3 Apply to the affected area with a soft cloth and be sure to wash down the whole surface with clean water and allow to dry.

Eight Homes Responsibility

8

- A final inspection of the paintwork is conducted on every completed home before handover to ensure there are no defects.

Homeowners Responsibility



- Use a soft, non-abrasive brush or cloth with a mild household detergent solution to clean dust and other deposits, then wipe with a damp cloth.
- Wash internal paintwork as required.
- Re-stain internal timber every 24 months or sooner if the surface shows signs of peeling or flaking.
- Repair hairline cracking in architraves/skirting (less than 2mm).

Plasterwork

Plasterwork is a key feature of your home's interior, providing smooth, durable surfaces for walls and ceilings that enhance both aesthetics and functionality. Proper care and maintenance of plasterwork are essential to preserve its appearance, prevent damage, and ensure it remains in excellent condition for years to come.

MAINTENANCE TIPS

Plaster Maintenance:

- Plaster-lined areas may shrink during the drying-out process, which could cause small cracks. While slight movement and shrinkage may occur, this will not affect your home's structural integrity.
- A surface that appears perfectly flat under diffuse light may seem uneven when lit by light falling nearly parallel to the surface. Therefore, imperfections in plasterwork that are only visible at certain angles, times of day, or with specific lighting conditions are not covered by warranty.
- As your home ages, minor shrinkage cracks become part of your normal maintenance responsibility and are easily repaired.
- After the warranty period, Eight Homes remains accountable for damage resulting from faulty materials or workmanship, but not for issues caused by aging, timber shrinkage, or typical wear and tear.
- Provided the cracking is not due to improper maintenance of your home after handover, Eight Homes will repair cracks in cornices, walls, ceilings, and bulkheads wider than 1mm within the first 12 months.
- Nail popping in plaster is covered under warranty within the first 12 months if caused by unsatisfactory workmanship.



Eight Homes Responsibility

8

- A final inspection of the plaster finish is conducted on every completed home before handover to ensure there are no defects.

Homeowners Responsibility



- Repair any hairline cracking (less than 1mm).
- Notify Eight Homes of any cracks in plasterwork greater than 2mm in the first 24 months.

Internal doors

Internal doors are essential elements of your home, providing privacy, sound insulation, and aesthetic appeal to your living spaces.

MAINTENANCE TIPS

- Warping of doors may occur as a natural consequence of adverse moisture conditions or the use of dark paint colors on the external face of the door.
- Bowing (if no greater than 4–6mm in height) is considered within the manufacturer's tolerance and is not considered a defect.
- Eight Homes will address and adjust any doors that stick during reported with 3 months of the door.
- After the 90 Day Warranty Period, adjustments due to natural timber movement will be the responsibility of the homeowner.

Eight Homes Responsibility

8

- At PCI all doors are inspected by the Construction Supervisor ensure they are in good working order.
- Complete door adjustments reported within three months of handover

Homeowners Responsibility



- Regularly check doors, handles, latches, and hinges are clean and not obstructed.
- Use graphite lubricant or a lead pencil to fix squeaky hinges, instead of oil.
- Clean the bottom track of aluminium doors regularly to remove dirt, dust and obstructions, preventing roller damage, ensuring smooth operation.
- Timber doors exposed to the elements will require additional maintenance including recoating every 12 months.



Heating & cooling

Your heating and cooling system has been installed by a licenced technician and is ready to be used. To enjoy the comfort of your heating and cooling system all you need to do is turn it on.

An easy-to-use operating manual has been left in your new home. This will also have details of service requirements for your system and how to register your manufacturers warranty.

MAINTENANCE TIPS

Cleaning

To keep your heating and cooling systems working at their optimum, regular maintenance should be carried out.

- Clean filters of your evaporative cooling unit at the start of Spring.
- Ensure you regularly clean the return air grill of your refrigeration cooling system every 3-6 months. Refer to your specific manual for recommendation
- Clean your heating units filter before the winter season and check it fortnightly during this period.
- Have a qualified technician service your heating and cooling system at least every 2-3 years.

Eight Homes Responsibility

8

- Ensure warranty information and complete care are provided to the owner.
- Coordinate the commissioning of any applicable heating and cooling systems.

Homeowners Responsibility



- Inspect and service cooling and heating units to ensure they are clean and operating correctly before long periods of non-use, in accordance with the manufacturer's specifications.
- Coordinate servicing of ducted heating and cooling systems as required.
- Ensure adequate windows and doors are open to allow ventilation when operating evaporative cooling, carefully checking for any signs of moisture.
- Clean the fireplace glass within four hours of initial use with a non-abrasive cleaner to remove deposits left by oils from the manufacturing process.
- Coordinate annual servicing of fireplaces.

Tapware

MAINTENANCE TIPS

- Most taps in your home are cartridge-driven, although some may still operate on the traditional washer system. It is not uncommon to require several replacement washers within the first 12 months, particularly in new estates or those using recycled water.
- Water-saving filters are fitted to most taps due to water corporation regulations, which may result in lower water pressure compared to other fixtures in your home. Low water pressure in tapware is not considered a defect, as long as the tapware is functioning correctly.
- Water hammer (a knocking or banging sound) may occur in some homes and can typically be avoided by gently turning off taps. However, dishwashers and automatic washing machines may be harder to control in this regard.
- After handover, water pressure can be turned down at the water meter, or your plumber may fit water hammer arresters to reduce the noise. If water hammer only occurs when turning taps on or off, it is not deemed a defect.

Eight Homes Responsibility

8

- A final inspection of the wet areas is conducted by the Construction Supervisor at PCI before handover to ensure everything is in good working order.
- A CCTV inspection of the sewer/stormwater is conducted prior to handover to ensure it is free from builders' debris and rubble.



Homeowners Responsibility



- Regularly inspect all tapware and fittings for leaks, particularly handheld tapware.
- Avoid over-tightening taps when turning them off to prevent damage to tap washers, which can cause them to wear out more quickly and shorten the product's lifespan.
- Ensure that leaking taps or overflow from hot water services and air conditioning units do not discharge near the home's footings.
- Keep the water meter area clear of overgrown grass, weeds, soil, and other obstructions.
- Ensure the water meter remains accessible for relevant authorities and is protected from damage or theft.
- Ensure household appliances like washing machines are in good working order and free from leaks. Engage a licensed plumber when necessary.
- Any detected leaks around fittings should be promptly inspected by a licensed plumber.
- In the event of a water leak, turn off the water supply at the mains and contact the appropriate water authority.
- If any drains appear blocked after handover, contact a licensed plumber.

Appliances

Home appliances are essential for simplifying daily chores and enhancing comfort in your kitchen, laundry, and other spaces. Consistent maintenance and correct usage will ensure they perform reliably and last for years.

MAINTENANCE TIPS

Post-Handover Appliance Installation & Security

- Appliances are installed at handover, as agreed with your Construction Supervisor.
- Once appliances have been installed, please ensure the property is well secured and that the home looks occupied, as theft of hot water units and other appliances may occur.
- Consider installing a monitored alarm system for added security.
- It is also recommended that you leave the porch light on to deter potential theft.
- Boundary fencing can also help reduce exposure and prevent unauthorised access to the back of your property.
- If you are not moving in straight away, we recommend you make the house look lived-in. Some ideas include:
 - Installing blinds
 - Adding pot plants
 - Placing minor furniture (even an old pair of shoes at the front door).

Eight Homes Responsibility

8

- A final inspection of your appliances is carried out on day of installation by the installer to ensure good working order.
- Ensure all checks are conducted at appliance commissioning by relevant technician.
- Any damage to appliances to handover are not a defect.
- Provide third party warranty information.

Homeowners Responsibility



- Use a specialised stainless steel cleaning product to maintain the surface condition of appliances.
- Ensure regular servicing of appliances according to their manufacturer's guidelines.
- Clean the rangehood and dishwasher filters regularly.
- Report any damage to appliances to your Construction Supervisor immediately after installation to avoid voiding the warranty. Damage will not be covered after handover.
- Inspect surrounding areas immediately after installation to ensure no damage has occurred. If damage is found, notify your Construction Supervisor as soon as possible.
- Complete any registration cards, which will be left in your kitchen cutlery drawer.
- Ensure that all pots and pans do not touch splashback as they may cause damage.



Cabinetry

Your cabinetry has been made from quality products and is guaranteed for 10 years by the manufacturer. It is important that you follow these easy cleaning steps to ensure your cabinetry looks good into the future.

MAINTENANCE

Cleaning guide

- A wipe over with a clean soft damp cloth should be sufficient to keep all melamine and laminated surfaces clean.
- Use an all-purpose liquid cleaner.
- Soiled or light stains are removed with warm soapy water or with a common detergent (available from supermarkets and hardware stores) containing no abrasive, strongly acidic or alkaline ingredients.
- Wax or other polishes should not be used on surfaces.
- Avoid use of cream cleaners as they may cause the edges to separate.



Stone benchtops

To ensure your stone benchtop warranty, please complete the supplier warranty paperwork provided and lodge with the manufacturer once you've moved in.

MAINTENANCE TIPS

Everyday cleaning

- Your stone benchtop requires very little maintenance to keep the surface looking like new. For everyday routine cleaning of your benchtop we recommend wiping the surface with warm soapy water (a mild detergent) and a damp cloth.
- Your benchtop is virtually non-porous, it will keep its lustrous gloss and ultra smooth surface without polishing and it never needs sealing. Never attempt to polish the surface on your own, and avoid prolonged rubbing in one spot when cleaning.

Heat resistance

Your benchtop will tolerate brief exposures to moderately hot temperatures, however prolonged direct contact with, or radiated heat from very hot pots can cause thermal shock, discolouration or damage.

Therefore, we do not recommend placing hot pots, pans, electric frying pans, oven trays, etc. directly from the hotplate or out of the oven onto the surface.

We always recommend the use of a hot pad or trivet to place hot items on.

Built strong, but not unbreakable.

As with any surface, your stone benchtop can be permanently damaged by exposure to strong chemicals and solvents that undermine its physical properties. Do not use products that contain trichloroethane or methylene chloride, such as paint removers or stripper.

Avoid any highly aggressive cleaning agents like oven cleaner that have high alkaline/pH levels. Should the surface be accidentally exposed to any of these damaging products, rinse immediately with water to neutralize the effect.



Homeowners Responsibility



- Regularly clean benchtops in accordance with manufacturers guidelines
- Refrain from placing hot items directly onto benchtops.
- Always use heatproof boards under kettles, toasters, and other appliances.
- Do not cut directly onto stone or laminate benches.
- Avoid placing an iron directly on stone or laminate benchtops.
- Do not apply excessive weight (such as sitting or standing) on granite or marble benchtops.

Laminate benchtops

For general care and maintenance, simply wipe away most spills or marks with a damp cloth, or use an all purpose spray cleaner.

Rubbing gently with a clean, dry cloth brings back the brightness of laminates. With a few sensible precautions, your laminate surface will enjoy a long lifespan.

MAINTENANCE TIPS

General care

- Avoid scourers and abrasives as they will damage the surface.
- Don't place hot objects, electrical appliances or pots straight from the oven or cooker onto your laminate surface.
- Do not use strongly acidic, alkaline cleaners or bleach for normal cleaning as these might etch the surface
- Keep waxes and polishes well away as they dull the natural shine.

Spills

Laminate surfaces resist staining from most household chemicals. With some accidental spills however, prompt action is essential. Wipe off beetroot, grape and berry juices, first aid preparations, concentrated bleach, oven cleaners, dishwasher detergents,

artificial dyes, hair colouring and solvent based pen ink immediately.

Specialty glues such as Super Glue must also be removed straight away with acetone (nail polish remover).

Stains

If the stain won't budge with an all purpose cleaner, try methylated spirits or dab the stain with a diluted bleach mixture (1 part bleach to 8 parts water); leave for 3 minutes then wash off with water and dry. Finish off with an all purpose cleaner.

Only as a last resort if a stain persists try 2 or 3 rubs with a creme cleanser or white toothpaste, wash and dry. Please note that bleach or these abrasive cleaners may irreversibly damage the laminate surface.

Scratches

Laminate surfaces are designed to endure normal wear and tear, making them a durable choice for your home. However, they can be susceptible to damage from scratches or cuts.

Darker-colored laminates tend to show scratches and scuffs more noticeably than lighter shades, so extra care is recommended when using or cleaning these surfaces.

In general, dark colours and high gloss surfaces require more care and maintenance than lighter colours or lower gloss colours.

To minimise scratching, always place and lift objects from the surface – never drag or slide them across the surface.

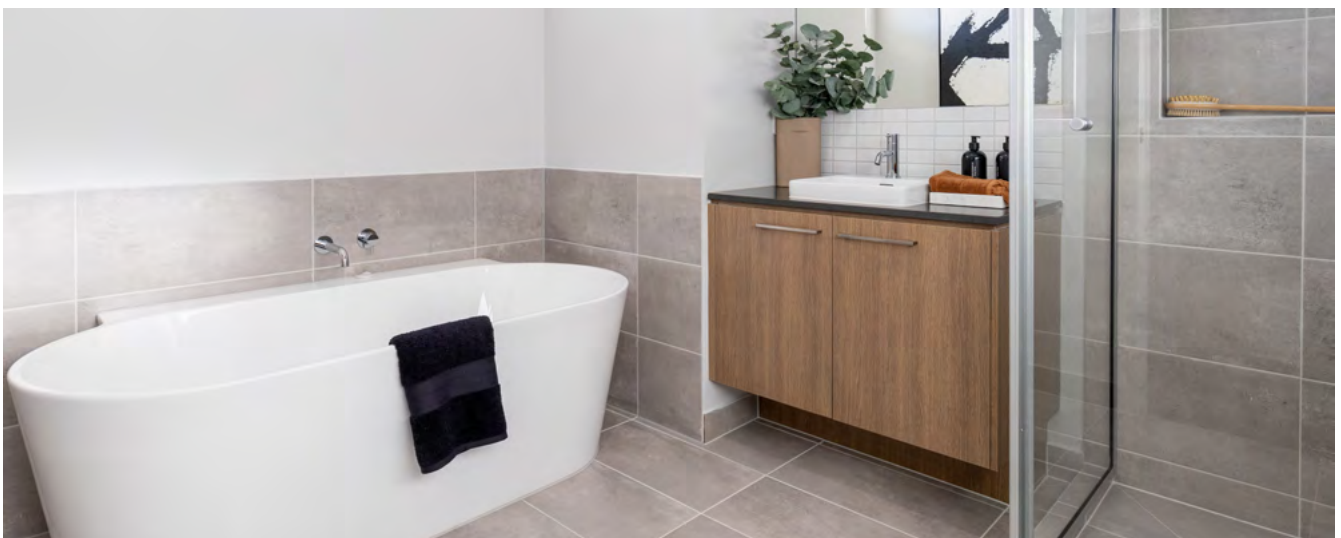


Wet areas & plumbing

MAINTENANCE TIPS

General care

- Regular cleaning of shower areas helps reduce soap and grime buildup, preventing discoloration of grout and glass. Choosing the right cleaning products is essential to avoid causing permanent damage to tiled surfaces.
- Homeowners must replace darkened or mouldy sealants in shower enclosures as part of routine maintenance. Sealant discolouration from cleaning products is not a defect. Tile grout and caulking at joints need regular inspection and upkeep by the homeowner.
- Inadequate bathroom ventilation can cause mould, dampness, plaster/cornice cracks, and peeling corner tape. Condensation on walls, windows, or in bathrooms due to humidity and temperature differences is not a defect.
- Vanity basin and sink traps may leak due to shrinkage of the rubber seal in the waste pipe. Hand-tightening can often resolve minor leaks and prevent unnecessary service calls or cupboard damage.
- Hold the full flush button on water-efficient toilets until all water drains. In estates with recycled water, sediment may cause cisterns to run continuously, which is not a defect. Contact a licensed plumber for repairs.
- If your home is fitted with a storage hot water system, this is designed with a pressure relief valve to release water on a regular basis. It is normal to see some discharge of water or steam from this system.
- Even though the stormwater and main sewerage drains are inspected by a camera prior to handover, construction related blockages can still occur. Any such blockages will become apparent soon after use (usually within the first month of use).
- Drains may block from normal use as materials accumulate over time, which isn't a defect. Prevent blockages by avoiding materials like baby wipes entering drains.
- Balconies without roof cover require more frequent maintenance as they are exposed to the elements.
- Incorrect installation of appliances, such as washing machines, in your laundry area has the potential to cause significant flooding issues which can damage flooring and cabinetry.
- Inadequate ventilation provisions when using clothes drying appliances can create a build-up of moisture leading to mould and mildew damage to paintwork and other surfaces.



Eight Homes Responsibility

8

General plumbing: Hot water

- A final inspection of your plumbing fixtures is conducted by the Construction Supervisor at PCI to ensure everything is in proper working condition.
- Ensure that all necessary checks are completed during appliance commissioning by the relevant technicians.

Laundry

- A final inspection of your plumbing fixtures and balconies is conducted by the Construction Supervisor prior to handover to ensure everything is in good working order.

Bathrooms and toilets

- Cabinetry is serviced before handover, and we're happy to make any needed adjustments. Just let us know within the first three months after settlement.
- A CCTV inspection of the sewer is conducted prior to handover to ensure it is free from builders' debris and rubble.

Showers

- All grout and silicone is checked to be complete by our quality team before handover.



Homeowners Responsibility

General plumbing: Hot water

- Release the pressure relief valve of the hot water system monthly, ensuring the overflow is directed to the designated stormwater outlet at the base of the system.
- Arrange for a licensed plumber to service the hot water system tempering valves on an annual basis, or as needed.

Laundry

- Arrange for a licensed plumber to connect your washing machine waste to the trap or trough in the laundry.

Bathrooms and toilets

- Adjust and realign toilet seats using wing nuts beneath the toilet seat hinges as needed.
- Avoid using abrasive products (e.g., Jiff) to prevent scratching.
- Ensure proper ventilation in the bathroom to reduce humidity and moisture buildup.
- Always use ceiling exhaust fans when using the bath or shower.
- Do not flush wipes or sanitary products down the toilet, as they can cause blockages in the sewer line.

Showers

- Clean the shower waste weekly and ensure free of blockages/debris.
- If cracks in the shower base tiles are noticed, arrange for repair or replacement immediately.
- In case of a water leak, turn off the shower and seek professional assistance.
- Replace silicone and grout every 2 years.
- If missing grout is identified replace immediately with matching flexible grout.
- Immediately remove excess water from the surrounding floor.
- Clean shower screens regularly.

Hot water system

Your hot water system has been installed to provide you with continuous hot water all year around.

Below is a troubleshooting guide for some commonly occurring issues. If this does not resolve your problem, please contact the service team for your hot water service from the contact list on our website.

Demonstrate solar controller by removing the pump station cover & explain beeping and LED codes.

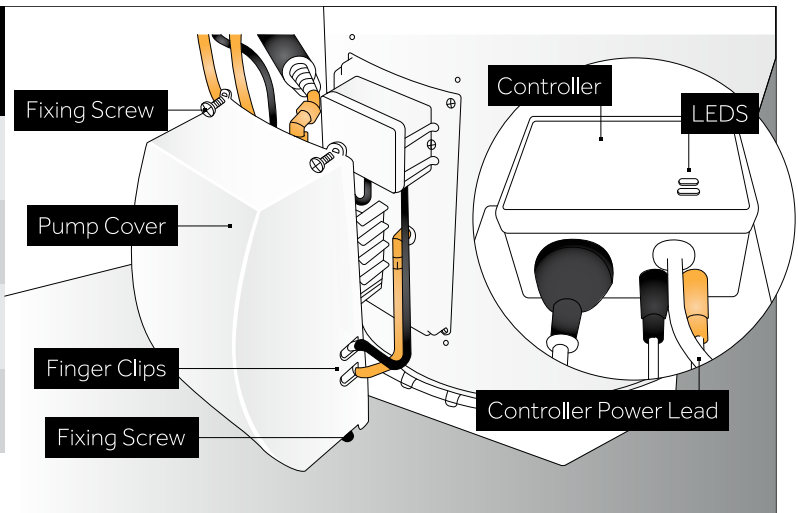
Red Light Flashing Plus Continuous Beeping:
Panel Sensor Lead Fault/Disconnected

Green Light Flashing Plus Two (2) Beeps:
Tank Sensor Lead Fault / Disconnected

Red & Green Lights On Plus Three (3) Beeps:
No Solar Circulation Dectected

Green Light On Plus Four (4) Beeps:
Sensor Outside Of Normal Range

If an issue exists the controller will start beeping and LED lights will flash. If your system starts to beep please contact Chromagen.



The diagram illustrates the internal components of a solar pump station. A white pump cover is shown being removed from a metal enclosure. The enclosure contains a solar controller unit with two LEDs and a power lead. Wires are connected to the controller and the pump. Labels point to various parts: 'Fixing Screw' at the top and bottom of the enclosure, 'Pump Cover' on the white unit, 'Finger Clips' on the side of the enclosure, 'Controller' and 'LEDS' on the top of the controller unit, and 'Controller Power Lead' on the bottom of the controller unit.



Smoke alarms

Your home has been installed with hard-wired smoke detectors with a battery back-up throughout. The CFA recommends that you replace the batteries every 12-months.

The image shows a white, circular smoke alarm mounted on a wall. The alarm has a textured top and a smooth bottom. The text 'WARNING! DO NOT PULL! PULL TO RESET' is visible on the top edge. The bottom edge has a small circular button and some text that is partially obscured.

Lighting & power

IMPORTANT: All repairs and electrical work must be done by a licensed electrician. You may not be covered by your home insurance if an unlicensed person performs any electrical work.

MAINTENANCE TIPS

Residual Current Device (RCD) Information:

- All new home meter boxes are fitted with Residual Current Devices (RCD or safety switches). These are generally blue in color and will trip in the event of a fault or overloading.
- If you suspect the problem is a faulty appliance, take the appliance to an authorized service dealer.
- If the RCD trips, it indicates that:
 - You have been using too many appliances at once,
 - One of the appliances is faulty, or
 - There has been a power surge.
- If the RCD continues to trip, contact your electrician.

Energy-saving tips:

- Choose light fittings that allow most of the light through, so a lower wattage bulb can be used. Some light fittings can block 50% or more of the light, especially those with coloured glass or fabric.
- Use the lowest wattage bulb required to meet the room's lighting needs.
- Turn off outside lights when you're not using them.
- Consider using timers and sensors for indoor and outdoor lights.
- Regularly dust your low-energy light bulbs and fittings.
- Make the most of natural light: Open curtains and blinds during daylight hours.
- Turn off all lights in unoccupied rooms.

Eight Homes Responsibility

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- A final inspection of your plumbing fixtures is conducted by the Construction Supervisor at PCI to ensure everything is in proper working condition.
- Ensure that all necessary checks are completed during appliance commissioning by the relevant technicians.
- Provide certificate of compliance from licenced trade.

Homeowners Responsibility



- The homeowner is responsible for changing light bulbs. This is not a warranty item.
- Test smoke alarms weekly by pressing the 'test' button on the side and replace the batteries annually. Smoke alarms should be replaced after ten years of use.
- For electrical issues or damage, switch off the main power and call a licensed electrician.
- If an electrical issue or damage occurs outside your property boundary, contact your electrical supplier and/or the Eight Homes Warranty Department.



Eight Homes Service & Warranty

For general maintenance
or warranty enquiries or to submit
your Defect Liability Period (DLP)
service items list visit;

www.8homes.com.au/service



Contractor & supplier listing

Prior to contacting a contractor
please make sure you have all
your relevant property information
including any certificates.

A full list of contractors and supplier
details are available on our website.

www.8homes.com.au/service

(Scroll down below FAQ section)





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